

The Residences at Crescent Mountain Vineyards

Single Family Homes DESIGN AND CONSTRUCTION GUIDELINES

Revision #6

3-20-2025

Revisions:

Updated Road Usage Fee from \$2000 to \$4000
Updated Minimum Sq Footage from 1600 to 2100

Updated 3-20_2025

The Residences at
Crescent Mountain Vineyards
DESIGN AND CONSTRUCTION GUIDELINES

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The Residences at
Crescent Mountain Vineyards

Dear Property Owner(s):

On behalf of the Board of Directors, the Architectural Review Committee (ARC) and your fellow Property Owners, welcome to Crescent Mountain Vineyards.

These guidelines are intended to serve as your benchmark in the often complex process of planning a new home. While this document can prove to be a helpful tool in planning homes, it can neither provide every answer nor guarantee ideal solutions for every situation. Nevertheless, as questions arise concerning your building plans, the ARC committee will be most happy to help you. We encourage you to participate when possible in all presentations to the ARC as they are made by your architect, designer or builder.

We hope you, your designer and builder will find these guidelines helpful, and we encourage your questions and comments. If we may be of any assistance whatsoever, please do not hesitate to call us.

Sincerely,

The Board of Directors (BOD)

The Architectural Review Committee (ARC)

Crescent Mountain Vineyards Property Owners Association

DEVELOPMENT PHILOSOPHY

The Residences at Crescent Mountain Vineyards (CMV) is a planned community designed to take advantage of the quiet upcountry lifestyle, representing a small village one might find in the countryside of France. The design objectives for the homes are to be in keeping with the French architecture and ambiance which reflects the setting and the landscape.

The architectural review process has been established to help ensure that each home contributes to this design objective by way of employing these guidelines. Although all sites and homes will vary somewhat, a common set of design elements and themes should be carried throughout the community.

Elements typically found in the Country French style include: natural materials, soft colors, symmetrical design often including arched windows and doors, wrought iron accents, steeply pitched roofs and exposed beams.

INTENT OF STANDARD AND GUIDELINES

These "Guidelines" are intended to assist property owners during the design, construction and improvement of their residences. The guidelines are intended to protect the property values of all owners throughout, and the review procedures are intended to provide a systematic and uniform review for all construction requiring ARC approval. The "Guidelines" are amended from time to time as necessary by the ARC.

It is the purpose of these Guidelines to promote excellence in architectural design and construction in a character appropriate to the theme and the natural surroundings of The Residences at Crescent Mountain Vineyards.

FUNCTION OF THE ARCHITECTURAL REVIEW COMMITTEE

The Architectural Review Committee is granted the power of establishing design guidelines through Article III, Section 8 of the Declaration of Restrictive Covenants. The Declaration of Restrictive Covenants is a recorded and binding instrument as stated on the Deed to your property.

The Architectural Review Committee (ARC) is set up for the purpose of enhancing the community. The Committee's composition of members is determined by the Board of Directors of the Crescent Mountain Vineyards Property Owner's Association. ARC members are volunteers and are not compensated for their role.

The approval of the ARC Committee relates to the harmony and compatibility of external design and site design optimization. The ARC does not assume liability for either structural design or impact to a neighbor's property during construction. ARC approval and the subsequent issuance of the Construction Authorization Permit, are some of the initial steps toward construction of a home.

The South Carolina Department of Health and Environment Control (DHEC) and Greenville County have jurisdiction over some elements of the building process at The Residences at Crescent Mountain Vineyards. The owner and their architect/builder are solely responsible for compliance with DHEC and Greenville County rules and regulations.

BASIS OF AUTHORITY

The Design Guidelines derive their authority from the Declaration of Restrictive Covenants for The Residences at Crescent Mountain Vineyards; the Guidelines are meant to clarify and add greater detail to the Covenants. The applicable Covenants include, but are not limited to, those found in the Covenants.

Any work done in violation of these Guidelines and the Declaration of Restrictive Covenants is non-conforming. With a written request from the ARC, the Owner, at his sole cost and expense, shall bring all such work into conformance. If the Owner chooses not to correct such issues, the ARC can enter the property for corrective action, at Owner's expense.

The ARC, acting on behalf of the Board of Directors, shall pursue all legal and equitable remedies to enforce the provisions of Covenants, including, but not limited to, placing a lien on a Lot for payment of delinquent fines and assessments. Such fines may include fines imposed by the ARC for violations as stated on the Schedule of Fines (Exhibit A) ("Benefited Assessments"), or costs related to any corrective actions required. Additionally, legal and equitable remedies may include issuance of cease-and-desist order as issued by the Court.

GENERAL COMMENTS

The unique topography and natural setting found on nearly every building lot at The Residences at Crescent Mountain Vineyards demands special attention to home design and site integration. Therefore, to ensure a satisfactory experience in planning and building a home, it is strongly recommended that both an architect and a landscape architect be involved in the process. Builders, however qualified and successful, cannot always offer design services which include expertise in site planning, superior architectural appearance and conformity, and quality of detail.

Every site and home present a unique opportunity. Good professional design assistance will almost certainly add more in value to your home, and the community at large, than the up-front cost.

The ARC does not suggest or recommend the acceptability of any one contractor (builder) over any other, except said contractor must be licensed in the state of South Carolina. Contractors may be banned from building in the Crescent Mountain Vineyards (see General Regulations). ARC does not recommend or take responsibility for any of the terms and conditions of any arrangements between the property owner and contractor selected for construction of the home, notwithstanding the approvals that are necessary from ARC. The ARC does, however, recommend that:

- (a) The property owner establishes a contract with the builder, defining the terms and conditions for construction of the home on the owner's property, as well as seek advice of counsel in the preparation of the contract. Although not required, an architect licensed in South Carolina is recommended.
- (b) The property owner determines, with the assistance of their builder or other professional, the expense related with connecting to existing water taps and electrical transformers prior to establishing a budget and contract for their build. The connection locations are different for each lot and the expenses related to making these connections is the sole responsibility of the property owner. Property owners are responsible for identifying and contracting for any wifi or internet service. Internet service is not currently provided to the community.

- (c) The property owner should seek the advice of an insurance agent to protect all interests adequately and to cover the home during construction and subsequent to completion of construction, so that the property owner will be adequately covered for all types of contingencies and liabilities.

Please remember that no clearing of any type can be commenced without having received Final Approval from the ARC. The ARC encourages your participation in the process and urges you to engage qualified professionals in the survey, architectural, construction and landscape disciplines.

SUMMARY OF THE PROCESS

PRELIMINARY APPROVAL

- (1) Read the Design and Construction Guidelines & Restrictive Covenants.
- (2) Contract with licensed South Carolina builder.
- (3) Contract with licensed surveyor to prepare lot boundary, tree and topographical survey.
- (4) Determine preliminary home design; meet with architect or builder to establish proposed location of home and driveway on the lot.
- (5) Develop home design and floor plan and elevations.
- (6) Submit one copy of the preliminary submittal package to the ARC. The preliminary submittal package must include the following: (a) site plan (1 copy); (b) home design (1 copy); (c) copy of the Preliminary Review Form (Exhibit C); (d) check for Review Fee (Exhibit B).

Note: Any incomplete submittal will not be accepted for further action.

- (7) Reserve scheduled time for preliminary meeting with the ARC (allow a minimum of 14 day's notice). Submittals must be made no less than seven (7) calendar days prior to meeting date. ARC meetings are scheduled as appropriate.
- (8) After ARC preliminary approval, stake the lot indicating the house location and trees to be removed.
- (9) Submit survey with proposed location of house and septic system to DHEC for inspection and approval.
- (10) Schedule site inspection with Builder, Owner and ARC (or other Developer's Representative) prior to Final Review.

FINAL APPROVAL

(11) Incorporate any changes or modifications and submit the following final review package to the ARC for Final Review: (a) complete sample of all exterior building materials (Exhibit I). (b) Final home design and site plan (1 copy); (c) Final Review form (Exhibit D) (d) Check for Construction Compliance Bond (Exhibit B); (e) Signed Construction Agreement (Exhibit E).

Note: Only complete submittals will be accepted for final approval. Omission of any element will constitute rejection of final approval. Proceeding without final approval will incur a fine.

(12) Reserve scheduled time for final meeting with the ARC (allow a minimum of 14 day's notice). Submittal must be made no less than seven (7) calendar days prior to desired meeting date.

(13) Secure County building permit and submit copy to ARC for their records.

(14) Install required construction site amenities - dumpster, silt fence and erosion control measures, builder's sign and temporary sanitary facilities. Call the ARC when complete. Refer to installation procedures for detailed instructions.

(15) Secure Construction Authorization Permit (Exhibit G) from the ARC.

(16) Commence construction.

(17) A landscape plan must be submitted to the ARC for approval no later than six (6) months after commencement of construction. Landscaping must be completed no later than six (6) months after completion of home. Any monetary amount remaining in the Construction Compliance Bond will be refunded only after the approved landscaping has been installed.

(18) Inform ARC of project completion for Final Compliance Letter and refund (if any) of the Construction Compliance Bond. Prior to issuance of Final Compliance Letter, an on-site inspection will be performed to assure conformance of previously approved materials and colors. Occupancy of the residence shall not take place until the owners have received their Certificate of Occupancy and the ARC has completed an on-site final inspection and the approval letter has been issued.

Changes to Home Design

Any change to the approved home design including materials, colors or design elements must be submitted to the ARC for approval prior to implementation.

Any change implemented without ARC approval is subject to removal or correction at the expense of the homeowner.

Design Guidelines rev#6

DESIGN

The architectural design concept for all lots in The Residences at Crescent Mountain Vineyards is to be that of an upscale community in the French country theme. It is the intent of the development to do this in a proper architectural manner. Therefore, the landscape, surroundings and home placement should all be considered when selecting the proper style and roof pitch of your house.

SIZE

The **Covenants** set minimum square footage requirements for residences built on each lot, though the **ARC** may establish additional regulations regarding size.

- **Building Height:** The ARC determines allowable heights based on lot location, tree cover, neighboring homes, and other site factors.
- Homes may not exceed **two (2) stories above a basement** or **2 ½ stories above natural grade**.
- While there is no explicitly defined maximum home size, the ARC may reject plans if a proposed home is **too large for the site** or **inconsistent with surrounding structures**.

Single-Family Home Requirements

- Only **one (1) single-family detached home** may be built on a lot.
- The home must not exceed **two (2) stories above a basement**.
- A **minimum two-car garage** is required (attached or detached).
- **Carports are discouraged** and require ARC approval.

Minimum Square Footage Requirements

- Residences must have **at least 2,100 square feet of living space**.
- The **first floor must contain at least 1,600 square feet**.
- The ARC may, at its discretion, allow decks, porches, or other **unheated/unconditioned spaces** to count toward the 2,100-square-foot requirement based on specific site conditions.
- The following areas **do not count** toward the minimum square footage:
 - Garages
 - Greenhouses
 - Unfinished basements or cellars
 - Any space less than **six (6) feet in height**

For more details on garage requirements, refer to the **Garage Section**.

BUILDING SETBACKS

The buildable area of every lot must be delineated to determine the portion of the lot upon which the house may be constructed. This area is specified by the easements and setbacks as recorded on the subdivision plat or in the legal description of the lot. In the absence of setbacks specified on the subdivision plat and/or covenants, the typical setbacks required by the ARC are:

Front or Side Yard - adjoining a street - 35 feet.
Rear Yard - 35 feet
Side Yard - 35 feet

The setbacks outlined above are for a typical building site. Larger, as well as irregular sites, may suggest to the Committee that these setbacks be altered. Variances may be permitted by the ARC to save prominent trees, minimize disruption to unusual topographic features, to accommodate an irregularly shaped lot or when the ARC determines, in its sole discretion, that a variance is otherwise appropriate to the site. All such determinations are final and binding on all concerned.

Relief from said building setback lines may be given by the ARC to any lot owner upon showing of extraordinary circumstances by said lot owner. Such extraordinary circumstances may include unusual topography, lot shape, frontages and also potential views to give property owners the fullest enjoyment of their lots. In order to assure, however, that location of houses will be staggered where practical and appropriate so that the maximum amount of views and privacy will be available to each house, that the structures will be located with regard to the ecological constraints and topography of each lot, taking into consideration topography, the location of large trees and similar considerations, ARC reserves the right to control absolutely the precise site and location of any residential unit or other structure upon all lots. Provided, however, that such location shall be determined only after reasonable opportunity is afforded the lot owner to recommend a specific site.

COLORS

All exterior materials and colors must be in keeping with the style of the home and complement the specific architecture and details, such as wood, stone and roofing you have chosen for your home. Color samples for new construction and color changes of existing buildings shall be submitted to the Committee for approval prior to application.

MATERIALS AND SURFACES

Many styles of acceptable architecture use materials such as stone, stucco, plaster and brick. The houses are more than one story most of the time. The doors and windows are often framed with stone. Additionally, styles might include a combination of brick and neatly cut stone together with Quoins, stone, swags, arches, columns and keystones as well as many other classic details. Listed below are the exterior materials: Walls - (stone) Almost every type of stone from marble to rock or stone cut precisely in blocks to beautiful carved details to roughly laid blocks.

Bricks - in many different patterns from common to Flemish to Herringbone (basket weave may not be used).

Wood - Wood may not be used as the main exterior material. It may be used for trim, soffits, posts and other architectural details.

Stucco - Many forms of stucco (Plaster are acceptable from smooth, evenly scored to very rough with rock exposed. Stucco may also be used with brick, wood, iron details and trimming,. And/or can be made to look like marble blocks or stone.

Windows - Arched tops, flat tops, centered tops and almost always painted wood trim or clad to appear painted.

Shutters and Blinds - There are several types of shutters: top openings, side openings, blinds of paneled or beaded boards and may be working or non-working design. If you choose to use non-working shutters, the size and shape should be such that if closed, they would fit the window frame properly.

Balconies - Balconies can be made of a concrete base with iron railings, stone or wood side rails or completely made of wood. Again, the style of architecture and building materials will determine the materials used and style of your balconies.

Porches and Patios – Porches and patios should be constructed of brick, stone or finished concrete. The material selected should be in keeping with the style of the house.

Driveways - All driveways and parking areas must be paved with asphalt, concrete or architectural pavers. Alternate materials must be approved in writing by the ARC.

Materials – general - The proper application, use and combination of the materials listed above is crucial for the success of a beautiful home. This is why it is very important to select an architect/builder that understands how some of these elements can be used. The use of high- quality exterior engineered wood-like aggregate products, natural woods, stucco and stone is encouraged while the use of imitation or less than highest quality materials is strongly discouraged and may be grounds for rejection.

There are certain materials that are not to be used at all on the homes.

They are:

- 1) Shiplap siding
 - 2) Beveled siding
 - 3) Vinyl siding
 - 4) Plywood siding
- Note: The use of vinyl and plywood siding is not permitted except for use on underside of soffit.
- 5) Victorian details such as turned columns for the front porch or other elements that make up English or American Colonial architecture
 - 6) Standing seam or other metal type roofing materials are not permitted. Exceptions may be made for copper roofs.
 - 7) Log homes or log cabins are not permitted.
 - 8) No concrete blocks may be exposed unless they are plastered or stuccoed.
 - 9) No unpainted sheet metal may be exposed.
 - 10) No rectangular downspouts

ROOFS

Roof pitches are required to be a minimum of 4/12 and a maximum of 14/12 for functional and aesthetic reasons. Please see Exhibit L. The aesthetic appearance of a residence roof-scape depends greatly upon the articulation of the siding, roofing, details, windows, walls and fences. Details at the soffit, fascia, base, corners, windows and decks should have common elements that help unify the appearance.

Terra Cotta tiles, Roman tiles, “S” tiles, flat pantiles, Tuscany tiles, French tiles, slate, copper or tin (used only on a small garden house or “lean-to”) are recommended. The pitch of the roof will dictate the types of roofing materials you can use. For a steeper pitched roof, for example, the Roman tile and

the "S" tile may not be used. Alternatively, roofing materials may be wood shakes, wood shingles, engineered cementitious aggregate products, or fiberglass shingles. In case of fiberglass shingles these shall be of an architectural grade and have at least a 25 year warranty. Roof vents and accessories should be located away from the front elevation and painted to match the roof color.

GUTTERS

Gutters may be half-round style (recommended) or standard K Style. Downspouts must be round.

GARAGES

Every home must have a minimum of a two-car garage containing at least 400 square feet. The garage must be attached unless otherwise approved by the ARC, and in that case must be of similar construction and appearance as the home. Each family dwelling unit must have sufficient enclosed garage space for any and all family cars. Garage doors must be located so as not to face the street, unless by the ARC variance.

APPURTENANCES

The proposed building of a deck or bridge into or across any natural or man made water body or wetland area must receive prior approval from the Committee. Exterior lighting requires Committee approval, and must be installed so as not to disturb either neighbors or nearby traffic. The construction of game and play structures as well as spas and hot tubs are considered improvements and must be submitted to the Committee. All play equipment shall be placed so that it is within setback lines and best efforts shall be made to place such equipment so as to minimize visibility from any street.

Unless approved by the ARC, no decorative features such as sculptures, bird baths, bird houses, fountains, or other decorative embellishments shall be permitted that are visible from any street.

Walls, fences and screens should be used to provide privacy, enclose service areas and HVAC units and to reduce the scale of large masses.

Each family dwelling unit must have permanent electric service supplied by Duke Power Company or Blue Ridge Electric, whichever utility services your property. All compressor units shall be ground mounted. Compressor units shall be screened by approved fencing or planting.

Each home is required to have a typical mailbox (see MAILBOXES Exhibit K).

Tennis Courts on lots are not permitted.

Outside clotheslines are not permitted.

STORAGE TANKS

Fuel storage receptacles for primary heating must be located underground. Auxiliary receptacles, for grilles or fireplaces, may not be exposed to view. All fuel storage receptacles must be installed in accordance with all applicable guidelines and regulations.

EXTERIOR LIGHTING

All exterior lighting must be approved by the ARC. Down lighting is encouraged to reduce glare; exterior light fixtures on homes should be of baffled design and conservative in number. Colored lights are prohibited. The use of exposed, non-hooded spotlights on homes will not be approved, where visible from the street. Exterior floodlights must be hooded fixtures to minimize direct visual access.

FENCES

Natural landscape fences are allowed. The natural fences are appropriate and provide a natural barrier with minimum maintenance. Fences must be pre-approved. Fences must harmonize in character and color with the house and the landscape design. They must be designed using any of the following materials:

- Stone - Stone and wood
- Stone and stucco - Stucco and iron
- Stone and iron - Stucco and wood

POOLS, SPAS / FOUNTAINS

All pools, spas and fountains must be pre-approved. The size, shape and sitting of pools must be carefully designed to achieve a feeling of compatibility with the surrounding natural and man made environment. The location of swimming pools, spas and fountains should consider many factors including indoor and outdoor relationships, setbacks, views to and from the pool area, wind, sun, topography (grading and evacuation), and fencing. Pool and equipment enclosures must relate architecturally to the home and other structures in their placement, materials and detailing. No above ground pools or inflatable bubble covers will be allowed. Fountains and cascades can be a pleasant element in any landscape. The sit, shape and siting must be compatible with its natural surrounding and all structures.

SIGNAGE

All signage is restricted within the community. See “EXISTING HOME CONSTRUCTION GUIDELINES – Mailboxes and signage” for further clarification.

MAILBOXES

Mailboxes and their installation must conform to a general design, but individual differences are permitted, with ARC approval. The design and certain dimensions can be seen on Exhibit K. The mailbox must be mounted so that face of the mailbox is 15-18" off the edge of pavement.

ANTENNAE

All utilities, wires, cables, antennae and the like, of any kind (such as telephone, electrical, television, radio and citizens band radios) must be placed underground except as may be expressly permitted and approved in writing by the ARC. Satellite dishes shall not exceed 33" in diameter and must be placed as unobtrusively as possible.

TEMPORARY STRUCTURES

No structure of a temporary nature shall be placed upon any portion of The Residences at CMV at any time for any reason. Temporary shelters, including mobile homes, trailers, recreational vehicles and tents, may not, at any time, be used as temporary or permanent residences or be permitted to remain on any portion of The Residences at CMV. Trailers for contractors, builders or others normally placed at construction sites are not allowed unless specifically approved in writing by the ARC. Basements or partially complete houses will be considered temporary and may not be inhabited.

SEWAGE

Prior to the occupancy of any family dwelling unit, proper and suitable provisions shall be made for the disposal of sewage by means of a septic system, and no sewage shall be emptied or discharged into any creek, lake or shoreline thereof, or upon the open ground. No sewage disposal system shall be used unless such system is designed, located, constructed and maintained in accordance with the requirements, standards and recommendations of the State Board of Health or its successor governmental authority. Each septic system shall be maintained in good condition so that its use and existence shall not constitute a nuisance to any other lot owner. Approval of such system shall be obtained from the health authority having jurisdiction. In the event that CMVPOA provides a public sewage disposal system available to the subdivision's lots, any lot owner whose lot has such service available shall be required to hook up to said system on the terms generally arranged for said system. Every family dwelling unit shall have permanent plumbing and running water and a permanent sewage disposal system. No temporary plumbing, water, or sewage systems are allowed. No private wells may be drilled or maintained on any residential lot without the prior written approval of ARC.

TRASH / TRASH RECEPTACLES

Each lot owner shall provide sanitary, animal-proof containers for garbage. All garbage receptacles, tools and equipment for use by the lot owner or otherwise shall be placed in a garage or fenced enclosure, and screened by planting, or berms to shield same from general visibility from roads abutting the lot owner's property, and from neighboring properties. Trash, garbage and other waste shall be kept in said sanitary containers. No trash, garbage, construction debris or other unsightly or offensive material shall be placed upon any portion of The Residences at CMV, except as temporary and incidental to bona fide improvements of said area of the development.

LANDSCAPE

Rocks, berms and plants may be used to create outdoor spaces. Care should be used in the selection of plants and flowers for size, tolerance of environment, and resistance to drought and wildlife. Lawn areas are encouraged particularly in the front as they greatly enhance the appearance of the yard and residence. Storm drainage systems in the immediate area of the site shall be integrated into the overall landscape design. Additional information and requirements regarding landscape standards and guidelines can be found in the "FINAL REVIEW" section of this document.

TREES

Lots may not be clear cut. No tree measuring five (5) inches or more in diameter at a point two (2) feet above around level, any flowering trees or shrubs, or any evergreens may be removed without the written approval of the ARC, unless located within ten (10) feet of a building, or within the right-of-way of driveways and walkways. Exceptions would include damaged trees, or trees which must be removed because of any emergency. Should a lot owner remove any tree or vegetation as herein provided without the above-described written approval, said lot owner shall be liable for damages which may include fines and / or legal action.

A survey showing all trees five (5) inches or more in diameter for an area thirty (30) feet around the footprint of the building must be submitted for the Preliminary Review. The survey must show trees of twelve (12) inches or larger in diameter for the entire site, or if approved by ARC, an area of approximately one (1) acre surrounding the house.

For trees removed or destroyed without ARC approval, the ARC may, at Owner's expense, enter the property and install trees of a trunk caliper totaling three new to every one destroyed or removed. For example, the loss of a twelve inch caliper tree shall be mitigated, at a minimum, by the planting of nine four-inch caliper trees.

WATER COURSES

No lake shall be constructed, nor shall the course of any stream be changed, nor any culverts installed in any stream without prior written approval of the ARC.

Waterways:

The owner of lots fronting on a lake, stream, or other waterway, or on an open-space area, separating the lot from such waterway, will not be permitted to erect or maintain a private dock, dam, or similar structure on such waterway unless required permits are obtained.

REVIEW PROCESS

The **Architectural Review Committee (ARC)** oversees all proposed construction at **Crescent Mountain Vineyards** to ensure high-quality architectural and site design that aligns with the natural surroundings and character of the community.

Overview of the Review Process

1. Preliminary Approval

- Applicants must submit the **required drawings and forms** for Preliminary Approval.
- A **site inspection** with all improvements staked out is required before moving to the next step.

2. Final Approval

- The ARC staff will review all submissions, including **site plans, final working drawings, landscaping plans, color and material samples, and specifications.**

- The project will only be presented to the Committee for review **after a complete Preliminary submittal package has been received.**
 - The ARC has **30 days** to respond to each submission.
3. **Approval & Construction Timeline**
- **Construction must begin within 12 months** of approval. If this deadline passes, **re-submittal is required**, along with the associated fees.
 - No **site clearing, material deliveries, or construction** may begin until **Final Approval** is granted.
 - A **Crescent Mountain Vineyards Construction Authorization Permit** (Exhibit G) is issued only after Final Approval.

Committee Review & Scheduling

- The **ARC may deny approval** based on aesthetic considerations if the proposed design is deemed **incompatible with the community** or **detrimental to the natural beauty of the site.**
- The Committee meets **as needed**, depending on the number of applications.
- Upon request from the property owner or builder, a meeting will be scheduled **within 14 days.**
- All submissions must be received **at least seven (7) calendar days** before the scheduled meeting.
- **Incomplete submittals will not be accepted**, and no further action will be taken until a **complete package** is provided.

Important Notes

- Plan your **Review Process** as part of your construction schedule.
- Compliance with **all County Building Department rules and regulations** is required.
- See the **Summary of the Process** section for additional details.

PRELIMINARY REVIEW

As soon as the owner and architect/designer have developed preliminary schematic plans, two sets of these plans must be submitted along with all other required preliminary review materials. These plans should include schematic drawings that illustrate the general form, spatial relationships, materials, articulation, and circulation patterns of the proposed structure. The Preliminary Review serves to discuss the project, review the architectural style, and evaluate the site plan.

Regardless of the presentation format, all preliminary submittals must include the following:

1. Site Plan

- Scale: **1" = 30'**
- Must be based on a **tree and topographical survey** prepared by a **Licensed Land Surveyor.**
- Should depict:
 - **Trees greater than 5" in diameter** at waist height, property lines, easements, setbacks, contour lines, and other significant natural features.
 - Analysis of **drainage, views, site access, and nearby homes/driveways.**
 - Identification of any **rock outcroppings** or other irreplaceable features for protection.

- Inclusion of **soil erosion and silt control measures**.
 - **Proposed finish floor elevation** relative to the street pavement elevation.
 - **Location of the septic system** (if applicable).
- **Driveways** must not impede drainage. Owners are responsible for installing a **minimum 15-inch diameter, 20-foot long corrugated metal culvert pipe** to ensure proper water flow.

2. Architectural Schematics

- **Floor Plans:**
 - Drawn at **1/4" scale**, showing the **layout of spaces for all levels** of the proposed building.
 - Must include **square footage calculations** for air-conditioned and heated space.
- **Elevations:**
 - Drawn at **1/4" scale**, showing views of **all exterior sides** of the structure.
 - Must clearly specify stucco and/or masonry elements of exterior walls.

3. Landscape Plan

- Must follow the **Landscape Requirements** outlined in the guidelines.

4. Stake-Out Requirements

- The **home must be staked out** on the lot using **stakes at least two (2) feet tall** to mark the corners.
- A **string must connect all stakes**, outlining the **shape of the house**.
- The **nearest lot line** to the house must also be marked with string.
- **Trees proposed for removal must be marked** with surveyor's ribbon around their circumference.
- **Septic drain fields must be identified** on-site.

5. Preliminary Review Form & Approval Process

- The ARC will grant **Preliminary Approval** or provide **reasons for objection**.
- If the **Committee requests changes** or the **owner modifies the plans**, the revised drawings must be **resubmitted** and receive **Preliminary Approval** before proceeding to **Final Approval**.
- **Preliminary Approval is valid for 12 months** from the date of approval.

6. Fees & Submission

- All **fees** must be submitted **at the time of application**, as outlined in the **Schedule of Fees (Exhibit B)**.

FINAL REVIEW

Once the **construction documents** are complete, incorporating all changes from the **Preliminary Review**, they must be submitted for **Final Review**.

1. Final Stake-Out

- The **preliminary stake-out** must be **updated** to reflect any changes in the **house or driveway location** and additional **tree removals**.

- **No trees over 5 inches in diameter** (measured at waist height) may be removed or limbed **without prior Committee approval**.
- Protective **fencing** must be installed around trees **not approved for removal** to prevent damage from construction equipment.
- The **final septic drain field location** must be confirmed.

2. Final Site Plan

- The **Preliminary Site Plan** must be updated to reflect all **modifications** and include the **proposed mailbox location**.

3. Color Samples

- Samples of all **exterior materials and colors**, including **trim, brick, roofing, stucco, and lattice**, must be submitted.
- These samples must be **mounted on a board**, as described in **Exhibit I**.
- Since color chips can vary significantly from actual applications, these samples help ensure the **final appearance** aligns with expectations.
- Colors must complement the **design and natural surroundings** of Crescent Mountain Vineyards (CMV). **Earth tones and natural hues** are preferred.

4. Architectural Plans

- **Foundation & Framing Plan**
 - **Scale: 1/4"**
 - Must show **foundation and framing details**, as well as how they relate to **trees, rock outcroppings, and other site features**.
- **Floor Plans**
 - **Scale: 1/4"**
 - Must include all necessary construction details.
- **Elevations**
 - **Scale: 1/4"**
 - Must show **all exterior views**, including **floor elevations, existing and proposed grade levels**.
 - All **exterior materials** must be defined, with **samples/images provided**.
 - The **electrical plan** must show the **location and type of all exterior lighting** and must be submitted **at the time of Preliminary Approval**.
- **Building Sections**
 - **Scale: 1/4"**
 - Must include necessary **construction clarifications** such as:
 - **Typical wall sections**
 - **Exterior trim details**
 - **Window and door details**
 - **Fences, railings, screens, and exterior walls**
 - **Screened porch sections**

5. Final Review Form & Approval Process

- If the Committee **does not grant Final Approval**, it will provide **corrective recommendations** for re-submission.
- If **Final Approval is granted**, the owner will receive a **Crescent Mountain Vineyards Construction Authorization Permit (Exhibit G)**.
- If **corrections are required**, the owner must submit **two (2) sets of revised working drawings** for approval.
- The **Construction Compliance Bond Receipt Form** must be submitted along with the revised drawings.

GENERAL REGULATIONS

All builders (and owner-builders) of residences at Crescent Mountain Vineyards must be licensed by the State of South Carolina. At a minimum, a South Carolina residential builder's license is required.

Construction of the residence must be completed within eighteen (18) months of the commencement of construction.

Landscaping must be completed no later than six (6) months after completion of home.

The maximum hours allowed for construction personnel will be from 7:00 a.m. to 7:00 p.m. Monday through Friday and 8:00 a.m. to 5:00 p.m. on Saturday. No residential construction work will be performed on Sundays or national holidays.

The conduct of all workmen is the responsibility of the General Contractor. Workmen are not allowed to ride about or use development facilities. Loud cars and speeding (SPEED LIMIT IS NO GREATER THAN 18 MPH in Crescent Mountain Vineyards) are not permitted in the development facilities. All construction vehicles must be parked on the construction site. Loud music from radios and disturbing property owners or guest will not be permitted at any time.

Contractors must have the Owner or Architect/Builder submit all proposals for exterior changes prior to implementation. The Covenants grant the ARC power to employ workers to correct any exterior changes made without approval or to employ persons to clean up an unacceptable lot. These charges will be deducted from the Construction Compliance Bond.

The ARC, at its sole discretion, may bar or restrict any contractor, builder or subcontractor from (a) entering Crescent Mountain Vineyards and / or (b) constructing or building any building or improvement in Crescent Mountain Vineyards.

The above regulations are designed to enhance Crescent Mountain Vineyards' overall appearance to our residents and visitors. Repeated violation of these regulations could result in the suspension of the building's approval for that residence until corrective action has been taken by the contractor. Additionally, a Contractor who repeatedly violates either the letter or "spirit" of these guidelines may be required to post a larger construction deposit or, in the extreme, be prohibited from working at Crescent Mountain Vineyards.

SITE GRADING

Site grading shall be kept to a minimum and drainage systems shall be designed for minimum impact or alteration of natural drainage systems. Flooding from large storms is sometimes a temporary problem in some areas; particular attention should be paid to grading to avoid standing water.

DYNAMITING

If dynamiting is required to remove large boulders, the contractor/owner shall contact the ARC for approval prior to dynamiting. The following is required:

1. Notify the ARC in writing and provide contact information for the person/company performing the blasting.
2. Provide to the ARC a copy of proof of insurance and a written statement of responsibility for any damages resulting from the blasting.
3. Provide to the ARC copies of written notification to be sent to all Homeowners in the community. Notification shall include the anticipated date and time of the blasting. Note: the ARC will notify Home Owners once these conditions have been met and the dynamiting approved. The property owner/homeowner is responsible for notifying property owners within 500 yards of the property, located outside of CMV.
4. Upon completion of the actions outlined above, the ARC will grant approval for dynamiting.

RETAINING WALLS

Retaining walls require ARC approval and must be submitted as part of the Landscape Design Plan. Any changes to original plan must be resubmitted to the ARC for approval. Retaining walls may be used to reduce the area needing grading. The walls must reflect the architecture of the home and should be carefully integrated into the site and the home.

Sedimentation and Erosion Control Measures: Must be employed during the construction process as required by the state of South Carolina and DHEC. Please see the appropriate Exhibits M, N, and O included herein. Surface drainage must be collected on-site and shall not impact adjacent properties.

CONSTRUCTION GUIDELINES

Before Construction:

Before any lot clearing, material deliveries, or construction can begin, the following steps must be completed after the final review process, approval of the stake-out and construction documents, and receipt of a Building Approval from the ARC.

Pre-Construction Requirements

1. **Erosion and Silt Control:** Install all required soil erosion, silt control, and mud control measures as outlined in the approved site plan.
2. **Job Site Signage:**
 - An approved contractor identification sign must be installed according to the Guidelines (Exhibit J).
 - The sign must be placed at least 15 feet from the street and include posted permits on the back.
 - No signs or permits may be nailed to trees.

- Subcontractor signs are not allowed.
- The sign must be in place before the Construction Authorization Permit is issued.

3. Construction Authorization Permit:

- Required for all new construction and renovations.
- The contractor must submit a completed Construction Deposit Form and the necessary Construction Compliance Bond.
- All other requirements must be met.
- This permit does not replace the need for a County Building Permit or any other required permits.

Checklist: Steps Before Construction Begins

- Obtain final approval by submitting all necessary plans, forms, and fees.
- Erect the approved job site sign.
- Obtain a County Building Permit.
- Post all required permits at the job site.
- Place a dumpster and portable toilet on-site.
- Install erosion, silt, and mud control measures.
- Ensure adequate off-street parking for all vehicles.

During Construction

All construction at Crescent Mountain Vineyards will be regularly monitored by the ARC. The Committee will conduct periodic field inspections of all residences under construction.

Site Requirements and Regulations

1. Job Toilets

- Every construction site must have a job toilet for workers.
- It must be placed at least 25 feet from the street in an inconspicuous location, with the door facing away from the street and neighboring homes.

2. Fire and Trash Management

- Fires are strictly prohibited on construction sites and will result in daily fines.
- Contractors must ensure that trash and debris do not spill from vehicles during transport.

- Construction sites must be kept clean and orderly at all times.
- 3. **Material Storage and Site Access**
 - All construction materials must remain within the property lines, keeping the street right-of-way clear.
 - Access to the site is limited to the proposed driveway location.
 - Accessing or storing materials on adjacent properties without written permission is strictly prohibited.
 - Temporary structures are not allowed.
- 4. **Site Cleanliness**
 - A commercial dumpster is required on each job site and must be emptied as needed.
 - At the end of each workday, materials must be stored neatly, and all trash must be placed in the dumpster.
 - Littering, including drink cans, food wrappers, and other garbage, is prohibited.
 - If the ARC determines that a site is not being maintained properly, it may arrange for cleanup and deduct the cost from the Construction Compliance Bond.
- 5. **Erosion and Mud Control**
 - Maintain all soil erosion and silt control measures.
 - Prevent mud from entering roadways and remove any that accumulates.
 - Fines may be imposed for non-compliance.
- 6. **Temporary Utilities**
 - Temporary utilities must be installed neatly.
 - The temporary power pole must be plumb and cannot be used for signage.
 - A temporary water hookup may be provided.

Required Items for All Residential Construction Sites

- **Commercial dumpster**
- **Job toilet**
- **Temporary utilities**
- **Job sign (with permits)**
- **Silt and erosion control measures**

After Construction:

Once construction of a residence is complete, the owner and contractor must contact the ARC for final approval. The residence and landscaping must fully comply with the plans previously approved by the ARC. Any unauthorized changes must be corrected before a **Final Compliance Letter** is issued.

Final Site Cleanup and Inspection

- All construction debris must be removed from the site and surrounding area.
- The construction site sign and temporary power pole must be taken down.
- The contractor must notify the ARC when the site is ready for Final Inspection.
- Upon approval, the ARC will issue the **Final Compliance Letter**.

Checklist for Final Compliance Letter

1. Complete all construction work.
2. Remove construction debris.
3. Remove temporary facilities, utilities, and signs.
4. Install landscaping and mailbox.
5. Pay any outstanding utility tap fees.
6. Notify the ARC for the Final Inspection.

RIGHT-OF-WAY RESTRICTIONS

The **right-of-way** includes the **road adjacent to your property** and the **strip of land between the road's edge and your property line**. This land is **not privately owned**; it belongs to the **Property Owners Association (POA)** and is maintained by the **Board of Directors**.

Owner Responsibilities & Restrictions

- **Voluntary Maintenance:** While the Board is responsible for maintaining the right-of-way, property owners are **encouraged** to maintain the **strip of land** between the road and their property.
- **Approved Projects:** If an owner receives **prior approval** to undertake a project within the right-of-way—such as planting grass along the roadside or installing a curb across a driveway—they **assume full responsibility** for its maintenance and any potential damage.
- **Prohibited Actions Without Approval:**
 - No **structures** may be built within the right-of-way.
 - No **trees or vegetation** may be removed.
 - No projects may be undertaken that could **impact drainage, safety, or aesthetics**.
 - Unauthorized projects may require **restoration to the original condition** at the owner's expense.

Construction Vehicle Parking Rules

- **Construction vehicles must park on the property whenever possible.**
- If parking on the road is necessary, all **four wheels must remain on the pavement in front of the property**—vehicles may **not park partially off the road** or encroach on the right-of-way.

LANDSCAPING

Crescent Mountain Vineyards' common-area landscaping is generally naturalistic and beautiful in its simplicity. Special care has been taken to protect the existing vegetation, soft topography and natural drainage systems. All improvements should be planned to minimize the alteration of the land and minimize the impact to the environment. Landscape plans must be submitted to the ARC for review within six (6) months of commencement of construction and landscaping must be completed within

six (6) months of completion of the home. Any amount remaining in the Construction Compliance Bond will be released only after the approved landscaping has been installed.

LANDSCAPE DESIGN AND CONSTRUCTION

To ensure high-quality design and maintain the aesthetic appeal of the community, the **ARC requires that a registered landscape architect** prepare the **landscape design, site plans, and construction documents** for each home. Professional landscape design enhances both the **value of your home** and the **overall community**, often providing returns that exceed the initial investment.

Landscape Plan Requirements

- **Scale & Representation:** Plans must be drawn to a **minimum scale of 1" = 30'** and must provide a **scaled representation** of all planting materials.
- **Plant Selection:**
 - Each plant must be **identified by size, common name, and variety**.
 - Plants must be **at least 1 gallon in size; multi-packs ("flats") are not allowed** as they do not establish well.
- **Additional Details:** Plans must also indicate:
 - **Landscape lighting** (including fixture catalog specifications).
 - **Sprinkler system layout** (head locations and coverage patterns).
 - **Hardscape elements** (walkways, fences, pools, decks, patios, play structures, and mailboxes).
 - **Screening for utilities**, including HVAC units, service yards, trash enclosures, and electric meters.

The **landscape contractor** is responsible for locating **existing utilities before excavation** to prevent damage.

Budget & Environmental Considerations

- The **landscape budget** should generally be **3%–8% of the total construction budget**, depending on **topography and existing vegetation**.
- **Forest Canopy Protection:** Cutting or thinning the forest canopy **is strictly prohibited** unless approved by the ARC.
- **Tree Removal Restrictions:**
 - No **living tree** with a **diameter of 5 inches or more** may be removed without **prior written approval** from the ARC.
 - No **flowering shrubs** may be removed without approval unless located within the designated construction area.
- **Use of Native Plants:** The ARC **strongly encourages** the use of **native grasses, groundcovers, and flowers** to promote sustainability and maintain the natural beauty of the community.

MISCELLANEOUS

Any clearing, grading or building without approval of the ARC will result in suspension of work and denial of builder and/or subcontractor access to project.

Mulching, preferably with pine bark or pine straw, is required for all planted areas to provide a smooth transition to the existing natural vegetation. All other types of mulching must be approved by the ARC.

EXISTING HOME IMPROVEMENT REVIEW

No site preparation, excavation, changes in grade, landscaping, or initial construction, erection, alteration, or installation of any improvements—including, but not limited to, dwellings, commercial units, outbuildings, driveways, fences, walls, signs, television antennas, clotheslines, mailboxes, post lamps, recreational or playground equipment, and other structures—shall be undertaken upon any residential lot, residential site, or any other lot or parcel of property in the Development unless the plans, elevations, and specifications showing the nature, kind, shape, height, materials, color scheme, and location of the proposed improvements and/or landscaping have been submitted to the Architectural Review Committee (ARC) and expressly approved in writing.

Plans submitted for construction of initial improvements upon the lot or parcel must contain details of any driveway(s) serving the lot or parcel to be improved, including such driveway(s) intersection with the roads in the Development.

Submission Requirements for Review and Approval of Proposed Improvements

When submitting for review and approval of proposed improvements, presentations must include, but may not be limited to, the following:

1. **Material and Color Samples:** Samples are most important when applying for improvement approval because of the necessity of matching existing materials.
2. **Site Plan:** A plan with dimensions of the property must be submitted showing the location(s) of the proposed improvements.
3. **Drawings:** Two sets of sufficient plans and elevations shall be submitted to adequately define and explain the improvement or modification. Drawings representing the existing structure(s) must also be submitted.
4. **Completed Improvement Review Form:** The improvement review form will be submitted along with two (2) sets of plans for review along with the plan review fee.

Review Process

After reviewing the project, the Committee will either suggest changes or grant Final Approval. As with new construction, two (2) sets of the drawings and the Construction Compliance Bond must be submitted prior to obtaining a Construction Authorization Permit. As specified in the construction guidelines, ARC and County Permits must be displayed before site clearing, material delivery, or construction may begin.

EXISTING HOME CONSTRUCTION GUIDELINES

The primary purpose of the Covenants and Guidelines is to foster the creation of a community which is aesthetically pleasing and functionally convenient for all residents and visitors. These restrictions, governing proposed homes, homes under construction, and existing homes require every home to be maintained in a manner conforming with these Guidelines.

Improvements: No alteration, including painting or staining, affecting the exterior appearance of any building, structure or landscape shall be made without prior approval of the ARC. A request for approval must be submitted to the ARC including a completed Improvement Review Form, all drawings necessary to define the proposed improvement, color samples, and site stake out.

Landscaping: Every property owner is responsible for preventing the development of any unclean, unsightly, or unkept conditions of buildings or yards which shall reduce the beauty of the neighborhood as a whole or the specified area. In formal landscaped areas, bed and lawn areas must be maintained. In natural areas, weed growth must be controlled. Any proposed changes in landscaping such as fences, fountains, lighting, game structures, drives, walks, landscape structures and statuary must be approved by the ARC.

Mailboxes and Signage: As amended by the First Amendment to the Design Guidelines dated May 26, 2005: The use of any sign, except for the purpose of selling an Owner's Lot or Home, is prohibited. The street number of single family homes may be identified only by graphics included on a mailbox as indicated by Exhibit K, and on the Owner's home, if desired. Owners' names, or house names shall not be placed on the front of homes or on signs placed on lots.

Signs shall be of uniform size, shape and color as shown in Exhibit "P". Wording on signs shall be limited to "FOR SALE", Lot Number (vacant lots only), and one (1) phone number.

Boats and Campers: The storage of boats and campers in yards or driveways is prohibited. They are required to be stored out of sight in garages. The ARC and/or the Community Association may be contacted for information regarding lease of off premises storage facilities.

Exterior Lighting: All exterior lighting shall be installed so as not to disturb neighbors and minimize visual access to the light. Exterior floodlights must use a hooded-type fixture and directed downward to minimize glare. (see EXTERIOR LIGHTING above)

SCHEDULE OF FINES

EXHIBIT A

The Residences at

Crescent Mountain Vineyards Architectural Review Committee

The following is a schedule of fines which may be imposed on a daily basis. Fines are legally assessable and collectable. Liens may be filed and enforced. Fine amounts are subject to change at the sole discretion of the ARC. Fines may be issued at the per diem fee; reasonable time for correction will be allowed before daily fines are imposed.

Violation	Fine Amount
No Dumpster	\$50.00
Burning without a permit	\$200.00
Littered Site	\$50.00
No Erosion Control *	\$50.00
No Temporary Sanitation (Job Toilet)	\$100.00
Parking in Right-of-Way	\$50.00
Building Material or equipment in Right-of-Way	\$100.00
Damage to Right-of-Way	\$100.00
Parking on Adjacent Property	\$100.00
Building Materials or Equipment on Adjacent Property	\$100.00
Non-Conforming Job Sign	\$100.00
Damage to Small Trees, Vegetation or Natural Areas	\$100.00
Unauthorized Removal or Destruction of Trees five (5) inches and larger in diameter per tree	\$300.00

Violation	Fine Amount
Incomplete or Non-Complying Landscaping	\$50.00
Unauthorized Plan Change (Minor)	\$200.00
Unauthorized Plan Change (Major)	\$500.00
Unauthorized Finishes (paint, stain, roofing)	Revocation of Permit and Forfeiture of funds remaining on deposit

SCHEDULE OF FEES

EXHIBIT B

The Residences at
Crescent Mountain Vineyards
 Architectural Review Committee

Construction Fees and Bonds

Fee Type	Amount
Construction Compliance Bond (New or Existing Construction)	\$4,000.00
Review Fee for New Construction (Non-Refundable)	\$400.00
Road Usage Fee (Non-Refundable)	\$4,000.00

Details

- The Construction Compliance Bond is held in escrow throughout the duration of the project in a non-interest bearing account. Any fines imposed will be deducted from this bond.
- Review fees are separate and not paid from the Construction Compliance Bond.
- The balance remaining at the completion of the project, including completion of approved landscaping, will be refunded to the entity submitting the initial funds.

PRELIMINARY REVIEW

EXHIBIT C

The Residences at Crescent Mountain Vineyards

Architectural Review Committee

Address of Project Lot Plat Owner _____

_____ Address

Telephone

Architect

Address

Telephone

Contractor Job Foreman

Address

Telephone Job Foreman Telephone

Check List

_Preliminary stake out

_Site Topo / Tree Survey HVAC Sq Ft 1600+ __Schematic Floor Plans Other
Schematic Elevations Total

Square footage

Required Actual

EXTERIOR MATERIAL DESCRIPTIONS (OPTIONAL AT PRELIMINARY)

Foundation Color / Mfr. / Name / Number

_____ Walls Color /
Mfg. / Name / Number

_____ Windows and
Doors Color / Mfr. / Name / Number Clad [] Wood []

Roofing Color / Mfr. / Name / Number

_____ Garage Doors
Color / Mfr. / Name / Number

_____ Paved Areas
Drives

ARC ACTION Approved Disapproved

FINAL REVIEW

EXHIBIT D

The Residences at Crescent Mountain Vineyards Architectural Review Committee

Address of Project Lot Plat Owner _____

_____ Address

Telephone

Architect

Address

Telephone

Contractor Job Foreman

Address

Telephone Job Foreman Telephone

Check List

_Preliminary stake out

_Site Topo / Tree Survey HVAC Sq Ft 1600+ __Schematic Floor Plans Other

_Schematic Elevations Total

Square footage

Required Actual

EXTERIOR MATERIAL DESCRIPTIONS

Foundation Color / Mfr. / Name / Number

_____ Walls Color /
Mfg. / Name / Number

_____ Windows and
Doors Color / Mfr. / Name / Number Clad [] Wood []

Roofing Color / Mfr. / Name / Number

_____ Garage Doors
Color / Mfr. / Name / Number

_____ Paved Areas
Drives

ARC ACTION Approved Disapproved

CONSTRUCTION AGREEMENT

EXHIBIT E

The Residences at
Crescent Mountain Vineyards
Architectural Review Committee

CONTRACTOR INFORMATION

NAME

ADDRESS

PHONE# LICENSE#

CONSTRUCTION LOCATION ADDRESS

OWNER

JOB SUPERINTENDENT PHONE

Have you built any homes at Crescent Mountain Vineyards prior to this application? _ YES

NO AGREEMENT

1. Owner and Contractor have read and agree to the terms and provisions of Crescent Mountain Vineyard Declaration of Restrictive Covenants and the Design and Construction Guidelines. Failure to comply may result in fines.
2. The project will be completed as described by the drawings and specifications approved by the Committee.
3. The construction site will be maintained in a clean manner, an approved job sign will be installed, a commercial dumpster and job toilet shall be placed in conformance with ARC Guidelines.
4. Contractor is responsible for the conduct of all workers performing services on this project at all times working at his direction.
5. All workers and vehicles are subject to search to help prevent theft of materials and equipment.
6. Any fines imposed will be deducted from the Contractor Compliance Bond.
7. Any restorative, corrective, enforcement or maintenance efforts expended by ARC on behalf of Contractor shall be payable from the Construction Compliance Bond.
8. Other than Building Contractor sign, all or other signs on the homesite or displayed in the house in such a manner as to be visible from the street are prohibited.
9. Prior to tree removal, clearing or beginning construction of the building, compliance with setback lines and conformance with pre-approved tree removal plan must be verified to the ARC by a registered land surveyor at Owner's expense.
10. Any changes from the originally submitted plans and specifications affecting the exterior of the home or the site submitted must be approved in writing by the Architectural Review Committee prior to action.
11. Drainage (including road ditches and culvert pipe beneath the construction access road) is to be approved by Crescent Mountain Vineyards ARC.

12. Silt fences and erosion control measures shall be installed by lot owner at his expense prior to any clearing.
13. No burning is permitted on the site.
14. Any change from approved outside colors and/or outside lighting is to be approved by the ARC.
15. Stumps, wood or other material shall not be dumped on adjacent lots. Clean up surrounding lots for trash weekly.
16. The road and drainage ditch right of way in front of this lot must be kept clear of dirt, mud, trash, etc. at all times during construction. No construction worker vehicles, supplier vehicles, or building materials are permitted on the right-of-way without special permission of the Crescent Mountain Vineyards ARC. Both traffic lanes are to be open at all times. If Crescent Mountain Vineyards does approve the parking of vehicles on the shoulder of road, contractor is responsible for placing "MEN WORKING" signs on the road so that drivers traveling in either direction on the road are adequately warned. The signs are to be provided by Contractor.
17. All lots shall have a drainage ditch established by builder along the front of the property line to allow water from road to drain off of right of way. No lot will be allowed to slope toward road without a drainage ditch installed. Contractor shall make provision to prevent above normal rainwater, mud, silt from affecting abutting properties.
18. Only pre-approved walkways or any other improvements shall be allowed in setback areas.
19. Any dogs or pets brought to the job site shall be leashed and contained within the property boundaries.
20. The speed limit is 18 miles per hour and shall be strictly enforced.
21. Construction vehicles shall not block roadways or mailboxes. Neighboring driveways may not be used for parking or turnarounds.
22. Mud on the roadways shall be minimized at all times. Failure to control mud and mud build-up on roads is grounds for fines and/or ARC-ordered clean-up at Owner's expense.
23. Construction shall conform to the latest requirements of the South Carolina State Building Code, South Carolina Plumbing Code, the National Electric Code and pertinent local codes. Each contractor or subcontractor is responsible for ensuring work meets such requirements and obtaining all approvals.
24. It is understood and agreed to by both owner and contractor that failure on their part or on the part of either of them to comply with the terms and provisions in any part of the Crescent Mountain Vineyards Declaration of Restrictive Covenants and / or Design and Construction Guidelines may result in a cease-and-desist order or fine against them by Crescent Mountain Vineyards and forfeiture of the portion of the Bond amount which might otherwise have been returned and a loss by the Contractor, his employees and subcontractors of the privilege of traveling on the roadways within Crescent Mountain Vineyards. Such fines are not limited to the Construction Compliance Bond amount.
25. It is understood that the ARC has the authority to bar or restrict any Builder, Contractor or Subcontractor from entering Crescent Mountain Vineyards or constructing any building or improvement.
26. I have been given a copy of the "Crescent Mountain Vineyards Design and Construction Guidelines". I understand said requirements and agree to abide by the Guidelines and accept fee penalties if imposed.

Contractor/Builder_____

ARC_____

Property Owner_____

Date_____

The Residences at
Crescent Mountain Vineyards

EXHIBIT F

RECEIPT FOR CONSTRUCTION COMPLIANCE BOND

The Crescent Mountain Vineyards, does hereby acknowledge receipt of the sum of \$ 4000.00 from as Building Contractor or Owner as a construction compliance bond with regard to the home to be built on Lot . If the home is completed in accordance with the Plans and Specifications approved by the Architectural Review Committee, including landscaping, and if the road, shoulders and right-of-way are returned to an acceptable condition approved by Crescent Mountain Vineyards ARC, and no fines were incurred as listed under the Schedule of Fines, Exhibit A, or other fines were imposed, the full amount of the bond will be refunded. Builder and Owner agree that fees imposed will be paid from, but are not limited to, the Construction Compliance Bond. The Bond amount will be held in a non-interest account.

In addition, failure to comply with the terms of this document may result in sanctions described in Article IX of the CMVs Declaration of Restrictive Covenants, and the Design and Construction Guidelines.

If a request for a refund is not received within 90 days of issuance of the County Certificate of Occupancy then the funds shall be considered forfeited and no refund shall be made at any later time.

Date this

Day / month / year

Building Contractor or Owner(s) _____

Crescent Mountain Vineyards ARC _____

The Residences at
Crescent Mountain Vineyards

CONSTRUCTION AUTHORIZATION PERMIT

EXHIBIT G

The construction site on Lot_, at The Residences at Crescent Mountain Vineyards, has been inspected and found to be in compliance with all requirements at this time.

Sign_____

Job Toilet _

Erosion and Silt Control Measures

Dumpster

Construction is approved to commence any time after:

Development Coordinator

The Residences at
Crescent Mountain Vineyards

FINAL COMPLIANCE LETTER (SAMPLE)
Architectural Review Committee

EXHIBIT H

To: Construction Company or Owner(s)

From: ARC Committee

Date:

Subject: Final Acceptance and Refund of Construction Compliance Bond for

The above-mentioned site has been inspected and found to be in compliance with all ARC requirements. The refund of the Construction Compliance Bond will be refunded, less any fines incurred.

Refund to be in the amount of :

The fines incurred were as follows:

(1) Date Amount (1) Date Amount (1) Date Amount (1) Date Amount

The Residences at
Crescent Mountain Vineyards

SAMPLE BOARD SUBMITTAL

EXHIBIT I

Owner (s):

Lot Number and Section:

Builder:

Paint Field Color Paint Trim Color

Paint Accent Color Roofing Material Sample

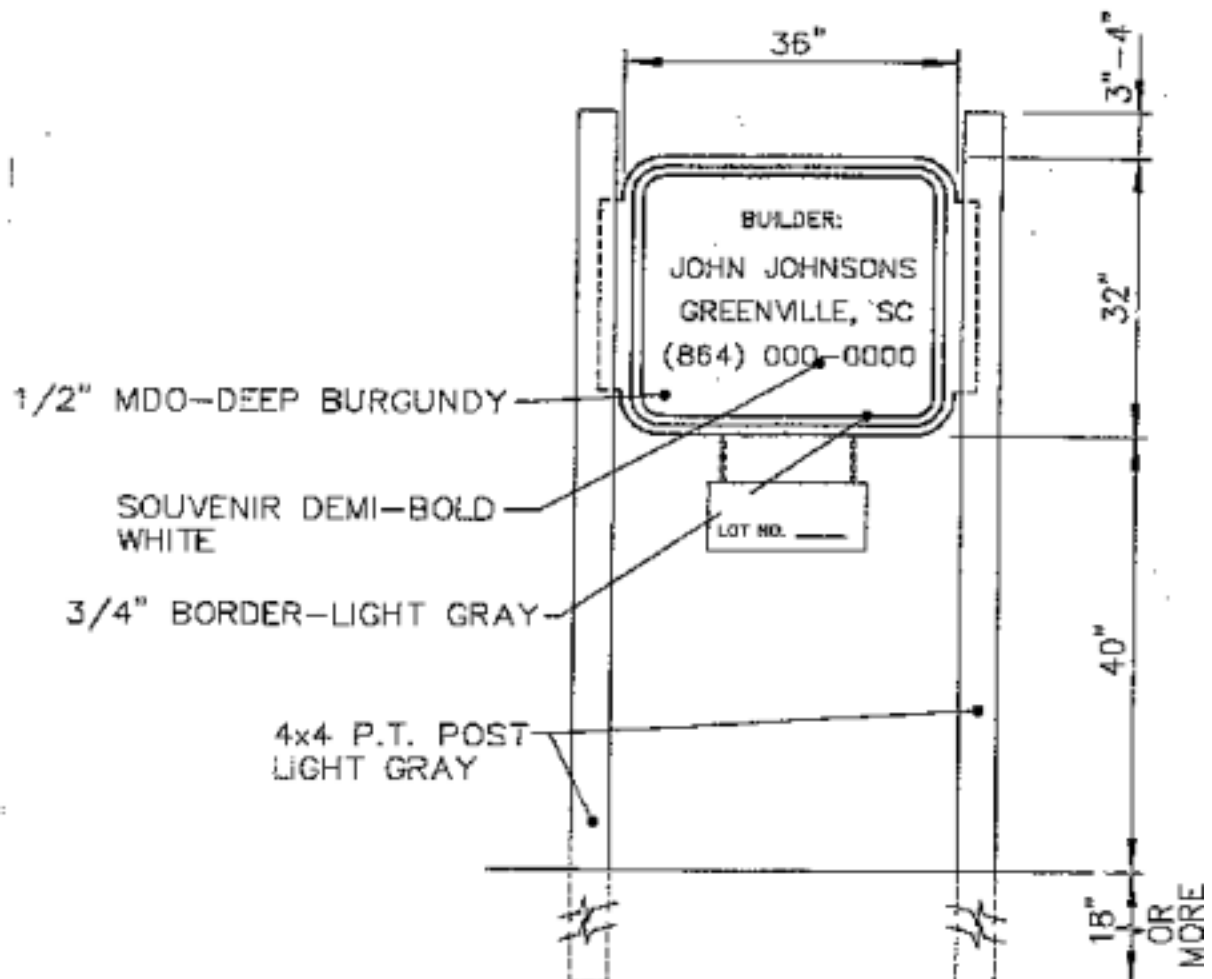
Photo or Color Copy or Description of Other: Stone Material,
Manufacturer, Mix & Color

5

The Residences at Crescent Mountain Vineyards

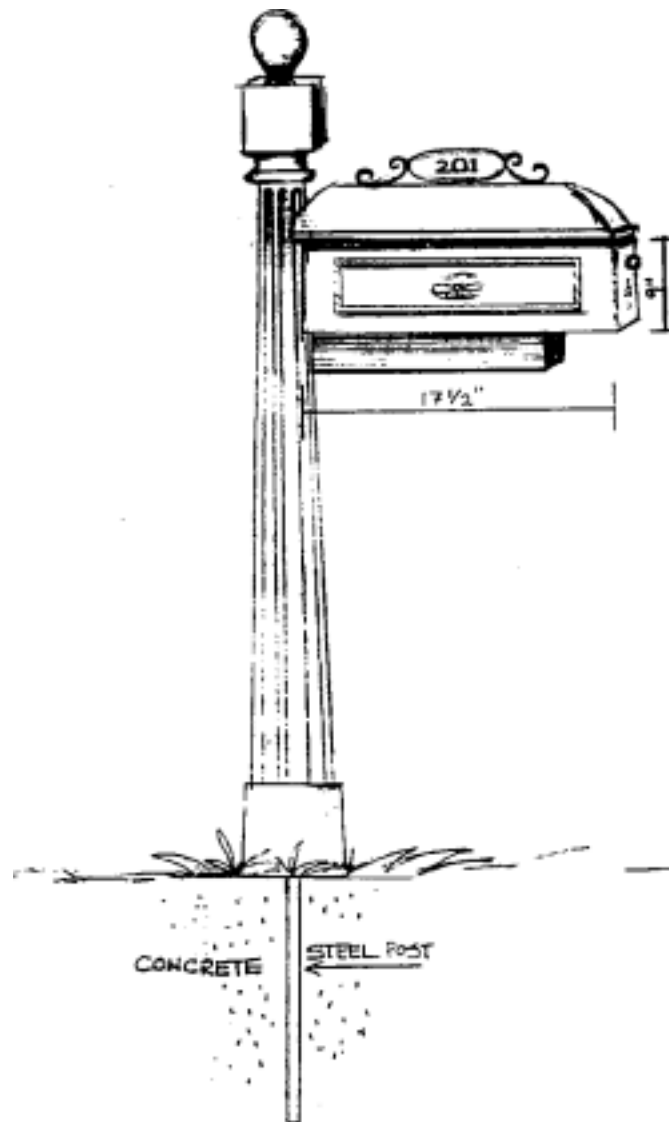
BUILDERS SIGNAGE

EXHIBIT "J"



The Residences at
Crescent Mountain Vineyards

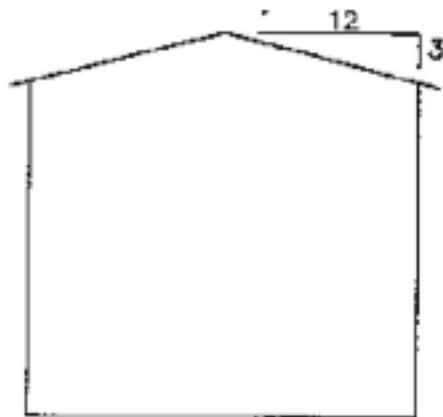
EXHIBIT "K"
MAILBOX GUIDELINES



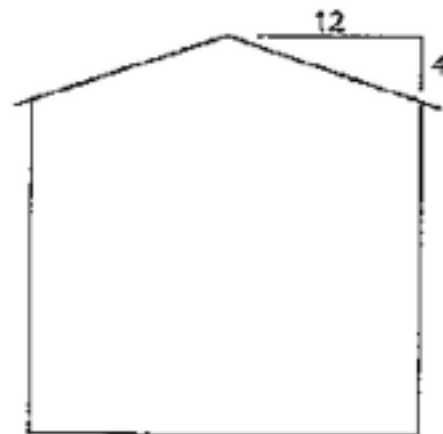
The Residences at
Crescent Mountain Vineyards

ALLOWABLE ROOF PITCHES

EXHIBIT "L"



NOT APPROVABLE
3 IN 12



APPROVABLE—GREATER THAN
4 IN 12

Crescent Mountain Vineyards

EXHIBIT M

CERTIFICATE OF COMPLIANCE WITH PROVISIONS OF THE GREENVILLE COUNTY STORMWATER MANAGEMENT & SEDIMENT CONTROL PLAN

An approved stormwater management and sediment control plan has been developed for this subdivision.

I, hereby certify that I am familiar with the provisions of the approved stormwater management and sediment control plan for The Residences at Crescent Mountain Vineyards Subdivision, and that I will comply with all of the provisions outlined therein when engaging in any land disturbing activities or building construction on Lot Number(s) , or will develop and obtain an approved plan for the lot(s).

Signed:

Title:

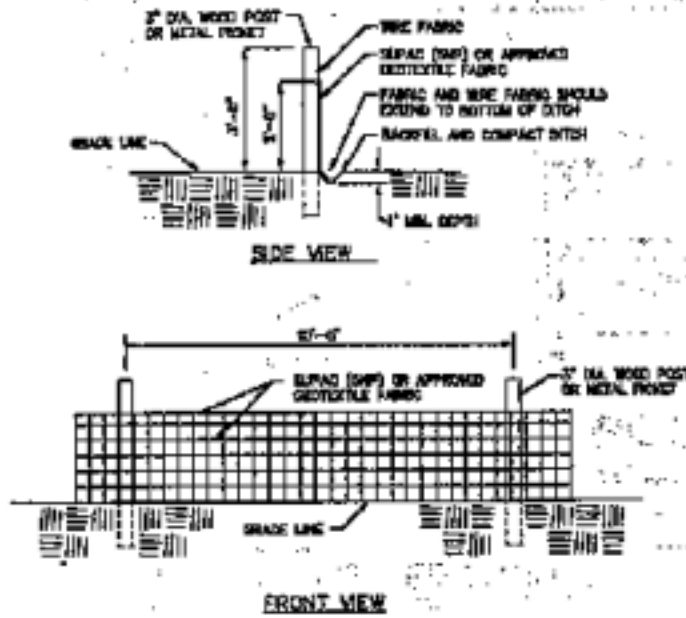
Date:

County Ordinance # 2398 Article II
Section A.

I.b If individual lots or sections in a residential subdivision are being developed by different property owners, all land disturbing activities related to the residential subdivision shall be covered by the approved drainage plan for the residential subdivision. Individual lot owners or developers shall sign a certificate of compliance that all activities on that lot will be carried out in accordance with the approved drainage plan for the residential subdivision.

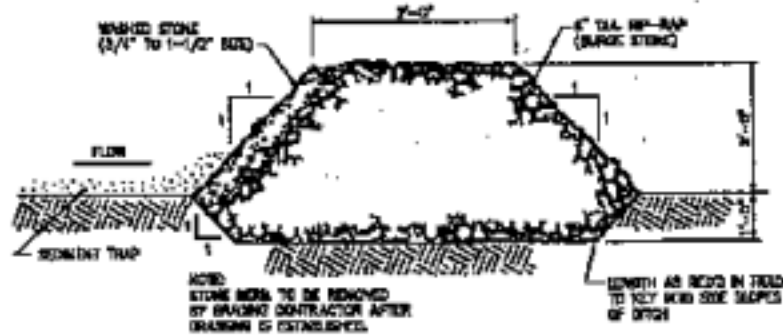
The Residents at
Crescent Mountain Vineyards

EXHIBIT "N"



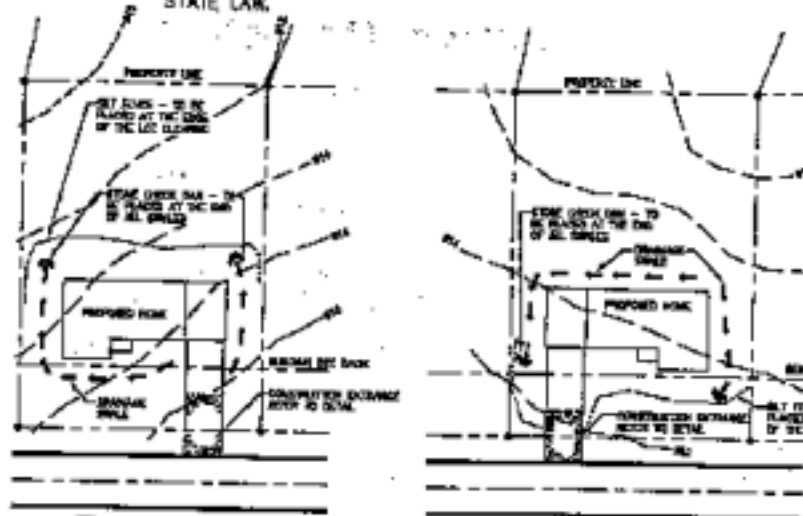
DETAIL OF SILT FENCE
(U.T.S.)

- NOTES:
1. INSTALL SILT FENCE BEFORE CONSTRUCTION IS BEGUN.
 2. CONSIDER SILT FENCE AS ABOVE OR USE PREFABRICATED SILT FENCE (METRODRY 24-1000) OR APPROVED EQUAL.



TYPICAL SECTION THRU STONE CHECK DAM
(U.T.S.)

NOTE: THIS DETAIL IS TO BE GIVEN TO EACH LOT OWNER PRIOR TO CONSTRUCTION. EACH LOT OWNER IS REQUIRED TO RETAIN SOX SEDIMENT ON-SITE PER STATE LAW.



TYP. INDIVIDUAL LOT EROSION CONTROL

LOT DEVELOPMENT NOTES: N.T.S.

1. THE INDIVIDUAL LOT OWNER OR DESIGNER SHALL BE RESPONSIBLE FOR IMPLEMENTING THE FOLLOWING EROSION CONTROL MEASURES AND FOR MAINTAINING ALL DEVICES DURING ALL PHASES OF THE HOME LOT CONSTRUCTION. THE INDIVIDUAL LOT OWNER OR DESIGNER RESPONSIBLE FOR THE LAND DISTURBANCE ACTIVITY SHALL BE SUBJECT TO ON-SITE INSPECTIONS BY THE S.C. DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL OR THE LOCAL APPROVED AGENCY AND MUST FOLLOW ANY INSTRUCTIONS OF THIS AGENCY IN RESPECT TO EROSION CONTROL.
2. THE PARTY RESPONSIBLE FOR ANY INDIVIDUAL LOT LAND DISTURBANCE ACTIVITY SHALL INSURE THAT SILT FENCES AS PER ATTACHED DETAIL, BE INSTALLED ON THE LOWER SIDE OF THE DISTURBED AREA. THE SILT FENCES SHALL BE MAINTAINED AT LEAST ONCE A WEEK AND AFTER ALL APPRECIABLE RAINFALL EVENTS.
3. IF OUTSIDE INDIVIDUAL LOT DEVELOPMENT THERE IS A NEED TO PERFORM GRADING THAT CONCENTRATES RAINFALL RUN-OFF, THEN THE PARTY RESPONSIBLE SHALL INSURE THAT A STORM CHECK DAM AS PER ATTACHED DETAIL, BE INSTALLED AT THE DRAINAGE POINT.
4. THE INDIVIDUAL RESPONSIBLE FOR THE INDIVIDUAL LOT LAND DISTURBANCE ACTIVITY SHALL BE PROPORTIONALLY RESPONSIBLE FOR ALL FENCES THAT OCCUR DUE TO DISTURBANCE TO THIS PLAN OR DUE TO FAILING TO MAINTAIN PROPERLY TO ON-SITE INSPECTION COMMENTS.

SEDIMENT FENCE NOTES:

1. THE SEDIMENT FENCE SHALL HAVE NO MORE THAN 1/4" GAPS FOR 100 FT. OF FENCE.
2. THE END OF THE SEDIMENT FENCE SHALL BE TURNED TO PREVENT FLOW AROUND THE SEDIMENT FENCE.
3. THE MAXIMUM UNPOLLUTED WATER SHALL NOT EXCEED 1.0 FT. AT ANY POINT ALONG THE FENCE.
4. THE MAXIMUM ALLOWED SEDIMENT BEHIND THE FENCE SHALL NOT EXCEED THE SPECIFICATIONS LISTED BELOW.

FLOW	MAX. LOADING
< 4 IN	100 FT.
4 TO 8 IN	75 FT.
8 TO 12 IN	50 FT.
12 TO 24 IN	25 FT.
> 24 IN	10 FT.

5. ON SLOPES GREATER THAN 10% AND IN HIGH FLOW AREAS THE SEDIMENT FENCE SHALL BE REINFORCED WITH WIRE FENCE WITH A MINIMUM 14 GAUGE AND A MAXIMUM SPACING OF 4 FEET ON THE BACK SIDE OF THE FENCE. ON STEEP SLOPES MORE THAN ONE ROW OF SILT FENCE WILL BE REQUIRED IF NEEDED.

MATERIALS:

1. THE SEDIMENT FENCE SHALL BE FILTER FABRIC OR A PERVIOUS SHEET OF POLYPROPYLENE NYLON, POLYESTER OR POLYETHYLENE TUBULAR WITH 80% FLOWING EFFICIENCY, A TENSILE STRENGTH OF 30 LB./IN. AND A SEAM FLOW RATE OF AT LEAST 0.2 GPM/IN. FT./MIN.
2. THE POST SHALL BE 4 INCH DIA. PINE, 2 INCH DIA. CIRC. OR 1.25 LUMP STEEL WITH A MIN. GROUND OF 4 FEET.

The Residences at
Crescent Mountain Vineyards

Exhibit

"p"



The Residences at
Crescent Mountain Vineyards
Approved Privacy Walls Exhibit "O"

